



Primrose Nako
Administrator, Planning Department
Planning and Development
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Tel: +27 (044) 801 9416

Reference Number: Erf 27854, George

Date: 01 December 2020

Enquiries: Primrose Nako

WELGELEGEN VIEWS
P O BOX 4703
GEORGE
6530

Email:energreen@gmail.com

**APPLICATION FOR SITE DEVELOPMENT PLAN: ERF 27854, WELGELEGEN ESTATE,
GEORGE**

Your application in the above refers.

The Deputy Director: Planning (Authorised Official) has, under delegated authority, WW.1.33 of 29 July 2015 decided that in terms of Section 15(2)(l) of the Land Use Planning Bylaw for George Municipality, 2015 the Site Development Plan (Plan nos.: B5-1001 R1, dated 2020/11/17, 27854-FC2000, 27854 FC4000, dated 2020/10/23, 27854-FC3000 dated 2020/05/29, B5-2000, B5-3000, B5-4000 dated 2020/10/11 and drawn by Energreen Designs) attached as "**Annexure A**" on Erf 27854, George.

BE APPROVED in terms of Section 65 (2) of said By-law for the following reasons:

REASONS FOR DECISION:

- a. The SDP as submitted is consistent with the SDP (no. 1000 dated 14 December 2018) approved by the Welgelegen Home Owners Association on 5 February 2019;
- b. The SDP meets all the requirement as stated in the approval letter and the George Integrated Zoning Scheme By-Law, 2017;
- c. The SDP is certified by the Welgelegen Home Owners Association as being in line with approves architectural guidelines and constitution;
- d. The SDP is in line with the approved Environmental Authorization.

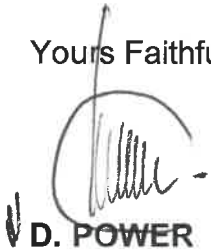
You have the right to appeal to the Appeal Authority against the decision of the Authorised Official, in terms of Section 79(2) of the George Municipality's By-law on Municipal Land Use Planning.

- A detailed motivated appeal with reasons should be directed to and received by the Appeal Authority, P O Box 19, George **on or before 22 DECEMBER 2020**.
- An appeal that is not lodged within this timeframe or that does not comply with Section 80 of the George Municipality's By-law on Municipal Land Use Planning will be deemed invalid.

Kindly note that no appeal right exists in terms of Section 62 of the Local Government Municipal Systems Act, No 32 of 2000.

Kindly note that in terms of Section 80(14) of the George Municipality's By-law on Municipal Land Use Planning, the above decision is suspended until such time as the period for lodging an appeal has lapsed, any appeal has been finalized and you have been advised accordingly.

Yours Faithfully



D. POWER

DEPUTY DIRECTOR: PLANNING AND DEVELOPMENT

P:\Approvals & Refusals 2018, 2019 & 2020\Erf 27854, George (Site Development Plan) Welgelegen HOA.docx

GENERAL NOTES
 1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 2. FINISHES TO BE DETERMINED BY THE ARCHITECT.
 3. ALL WORK TO BE IN ACCORDANCE WITH THE NATIONAL BUILDING CODE OF CANADA (NBC) AND ALL APPLICABLE BY-LAWS.
 4. ALL WORK TO BE IN ACCORDANCE WITH THE CANADIAN ELECTRIFICATION CODE (CEC) AND ALL APPLICABLE BY-LAWS.
 5. ALL WORK TO BE IN ACCORDANCE WITH THE CANADIAN PLUMBING CODE (CPC) AND ALL APPLICABLE BY-LAWS.
 6. ALL WORK TO BE IN ACCORDANCE WITH THE CANADIAN MECHANICAL CODE (CMC) AND ALL APPLICABLE BY-LAWS.
 7. ALL WORK TO BE IN ACCORDANCE WITH THE CANADIAN FIRE CODE (CFC) AND ALL APPLICABLE BY-LAWS.
 8. ALL WORK TO BE IN ACCORDANCE WITH THE CANADIAN SAFETY CODE (CSC) AND ALL APPLICABLE BY-LAWS.
 9. ALL WORK TO BE IN ACCORDANCE WITH THE CANADIAN OCCUPATIONAL SAFETY AND HEALTH ACT (CSA) AND ALL APPLICABLE BY-LAWS.
 10. ALL WORK TO BE IN ACCORDANCE WITH THE CANADIAN ENVIRONMENTAL PROTECTION ACT (CEPA) AND ALL APPLICABLE BY-LAWS.
 11. ALL WORK TO BE IN ACCORDANCE WITH THE CANADIAN ACCESSIBILITY ACT (CAA) AND ALL APPLICABLE BY-LAWS.
 12. ALL WORK TO BE IN ACCORDANCE WITH THE CANADIAN TRADE MARK ACT (CTMA) AND ALL APPLICABLE BY-LAWS.
 13. ALL WORK TO BE IN ACCORDANCE WITH THE CANADIAN PATENT ACT (CPA) AND ALL APPLICABLE BY-LAWS.
 14. ALL WORK TO BE IN ACCORDANCE WITH THE CANADIAN COPYRIGHT ACT (CCA) AND ALL APPLICABLE BY-LAWS.
 15. ALL WORK TO BE IN ACCORDANCE WITH THE CANADIAN TRADE DRESS ACT (CTDA) AND ALL APPLICABLE BY-LAWS.
 16. ALL WORK TO BE IN ACCORDANCE WITH THE CANADIAN TRADE MARK ACT (CTMA) AND ALL APPLICABLE BY-LAWS.
 17. ALL WORK TO BE IN ACCORDANCE WITH THE CANADIAN PATENT ACT (CPA) AND ALL APPLICABLE BY-LAWS.
 18. ALL WORK TO BE IN ACCORDANCE WITH THE CANADIAN COPYRIGHT ACT (CCA) AND ALL APPLICABLE BY-LAWS.
 19. ALL WORK TO BE IN ACCORDANCE WITH THE CANADIAN TRADE DRESS ACT (CTDA) AND ALL APPLICABLE BY-LAWS.
 20. ALL WORK TO BE IN ACCORDANCE WITH THE CANADIAN TRADE MARK ACT (CTMA) AND ALL APPLICABLE BY-LAWS.

DATE: 08/11/2020

Welgelegen Frail Care

Proposed New Assisted Living & Frail Care for owner on Ert 27854, in the Township of George, Welgelegen Estate

PROJECT



FLOOR PLAN
 DATE: 2020/09/23
 DRAWING NUMBER: 27854-FC2000

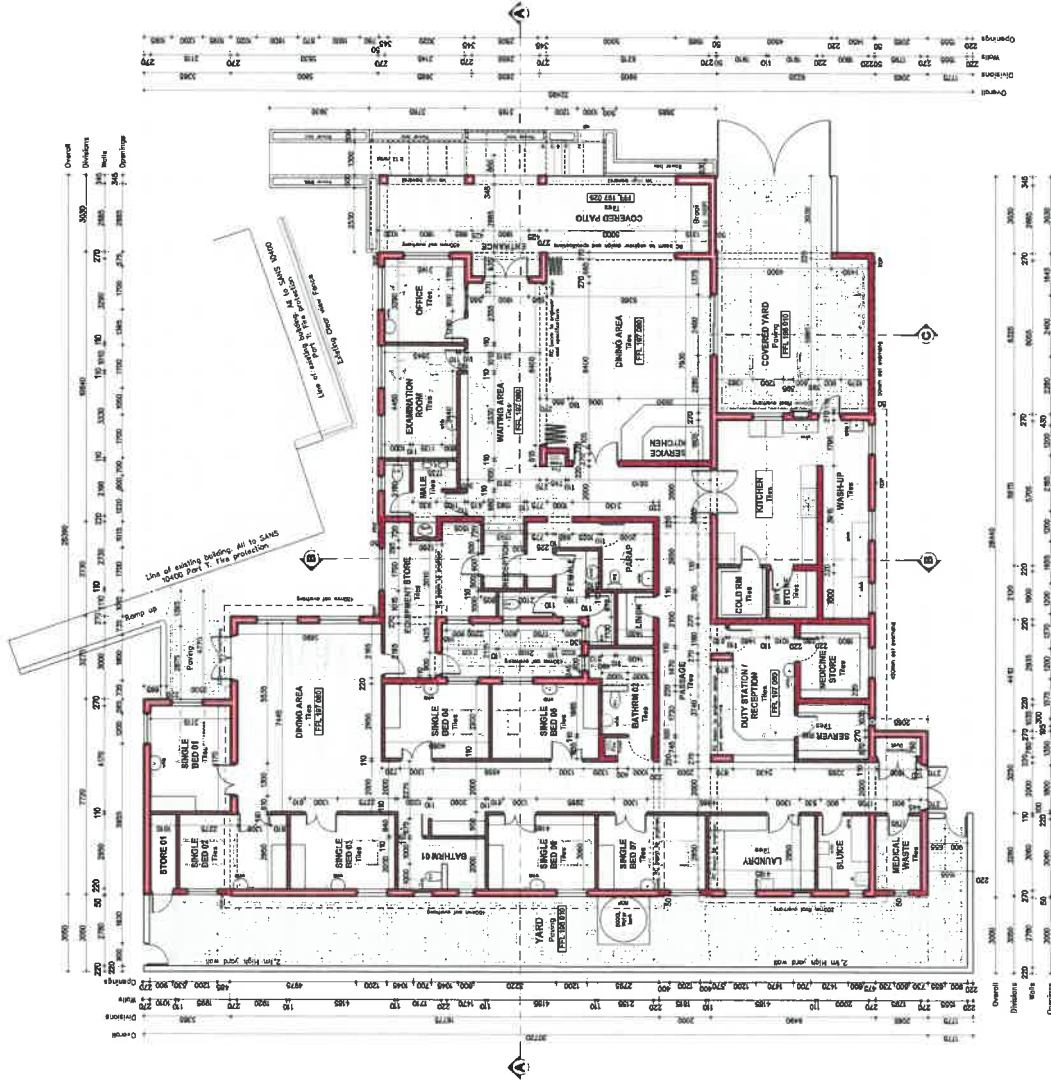


MUNICIPALITEIT GEORGE MUNICIPALITY

Approved in terms of Section 60 of the George Municipality: Land Use Planning By-Law (2015) subject to the conditions contained in the covering letter.

11/12/2020
 DATE
 DATUM

[Signature]
 MUNICIPAL MANAGER
 MUNISIPALE BESTUURDER



GENERAL NOTES

1. All elevations are to be finished unless otherwise noted.

2. All elevations are to be finished unless otherwise noted.

3. All elevations are to be finished unless otherwise noted.

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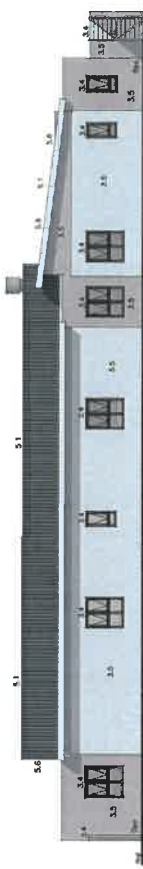
9. All elevations are to be finished unless otherwise noted.

10. All elevations are to be finished unless otherwise noted.

EXHIBIT NOTES



NORTH EAST ELEVATION
SCALE 1:100



SOUTH WEST ELEVATION
SCALE 1:100

GENERAL NOTES

FOUNDATIONS

- 1.1 Concrete foundations to engineer specifications.

FLOORS

- 2.1 150/200 mm concrete slab on compacted subgrade.
- 2.2 Approved floor finish to client specifications.
- 2.3 Concrete slabs to engineer design and specifications.
- 2.4 Reinforcement to engineer specifications.
- 2.5 RC slab to engineer specifications.

WALLS

- 3.1 All to finish manufacturer's standard.
- 3.2 20 degree corner-lap finished exterior all.
- 3.3 Stepped approved DPC for all cavity walls, base a vertical.
- 3.4 Joint filler after every 100 mm on vertical.
- 3.5 Render and patch to WELGELEGEN guidelines.
- 3.6 Stone cladding to WELGELEGEN guidelines.

CEILING

- 4.1 60mm gypsum board on 30mm battens at 900mm centres.
- 4.2 150mm area under cover of joists and plaster surface finish to engineer specifications.
- 4.3 Render and patch under side of concrete slab.
- 4.4 Water cavity with insulation to specialist specifications.

ROOFS

- 5.1 All to finish manufacturer's standard.
- 5.2 20 degree corner-lap finished exterior all.
- 5.3 Stepped approved DPC for all cavity walls, base a vertical.
- 5.4 Joint filler after every 100 mm on vertical.
- 5.5 Render and patch to WELGELEGEN guidelines.
- 5.6 Stone cladding to WELGELEGEN guidelines.



SOUTH EAST ELEVATION
SCALE 1:100



NORTH WEST ELEVATION
SCALE 1:100

WELGELEGEN
FRAIL CARE

Proposed New Assisted Living & Frail Care for owner on Erf 27854, in the Township of George, Welgelegen Estate



ENERGREEN

1504005201 GEORGE ST. G530
 1504005201 GEORGE ST. G530
 P.O. BOX 111111
 GEORGE, WEST CAPE PROVINCE
 6001
 TEL: 07 797920
 FAX: 07 797920
 REG. NO. 1065 6807

BLOCK 4 - ELEVATIONS

DATE: 2020/05/29

PROJECT NUMBER: 27854-FC3000

MUNICIPALITEIT GEORGE MUNICIPALITY

Approved in terms of Section 60 of the George Municipality: Land Use Planning By-Law (2015) subject to the conditions contained in the covering letter.

1/12/2020

MUNICIPAL MANAGER
 MUNISPALE BESTUURDER

As per the provisions of the Planning and Building Act, 2015, the applicant is required to submit a copy of this plan to the Municipality of George for approval. The Municipality of George reserves the right to request additional information or to require the applicant to provide a copy of this plan to the Municipality of George for approval.

EXISTING NOTES

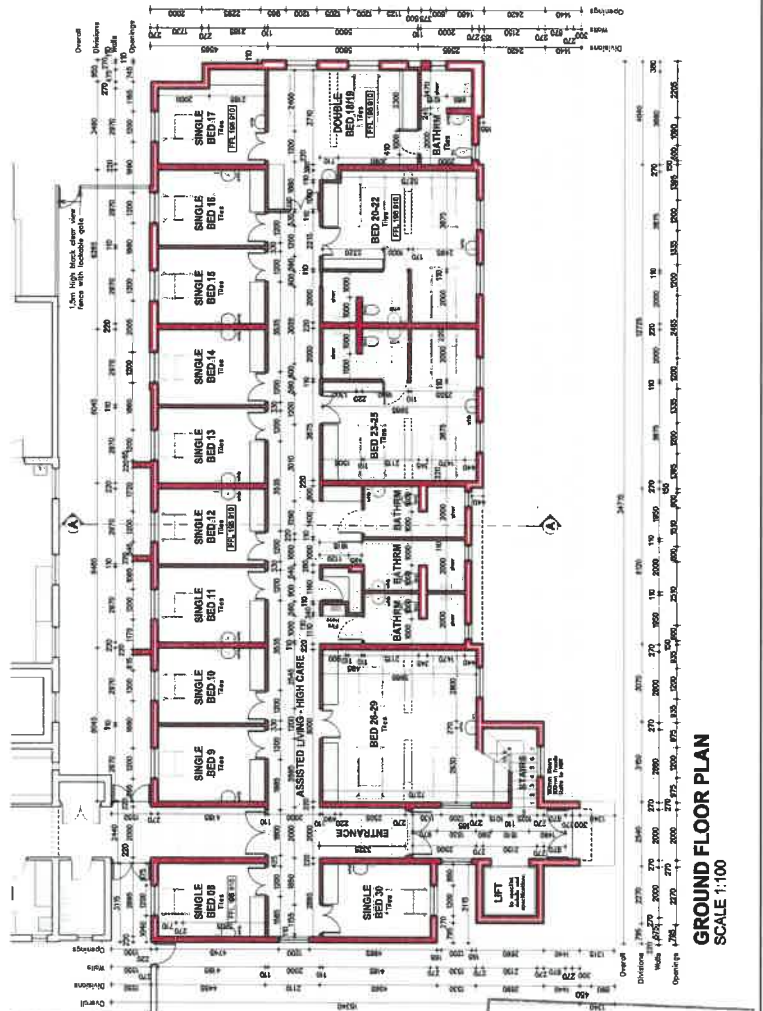
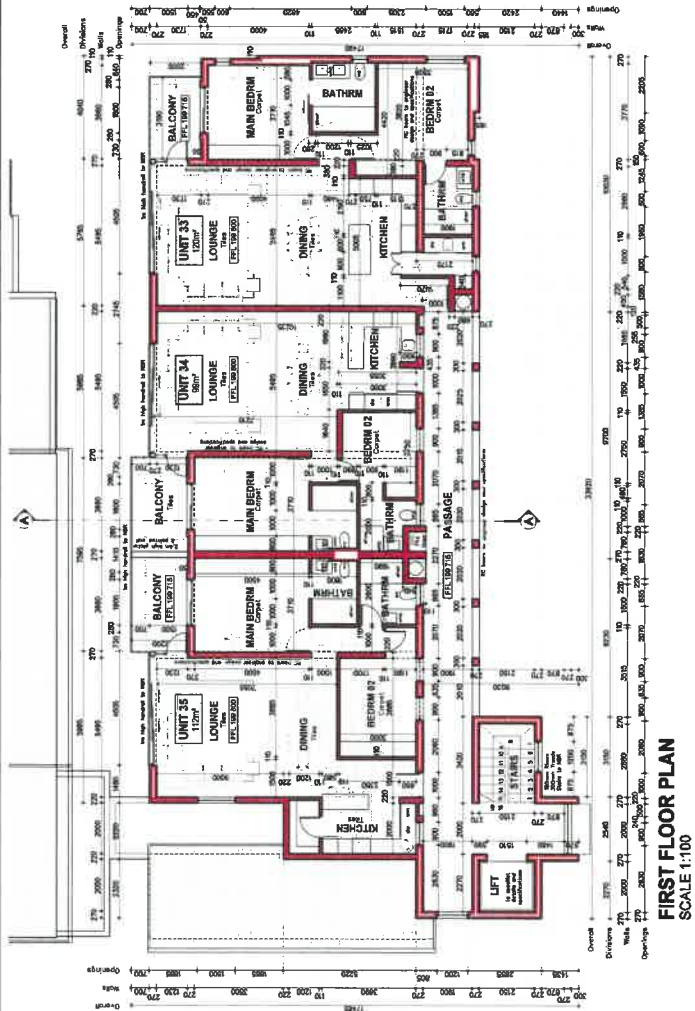
Welgelegen VIEWS Block 5

Proposed New Apartment Block 5 for owner
on Erf 27854, in the Township of George,
Welgelegen Estate

WELGELEGEN



GROUND & FIRST FLOOR PLAN
DATE: 2020/07/01
DRAWING NUMBER: B5-2000



MUNICIPALITEIT GEORGE MUNICIPALITY
Approved in terms of Section 60 of the George Municipality: Land Use Planning By-Law (2015) subject to the conditions contained in the covering letter.

1/12/2020
DATE

...
MUNICIPAL MANAGER
MUNICIPALITEIT GEORGE

GENERAL NOTES

1. Concrete foundation to engineer design and specifications.

2. 20mm smooth finished screed or 80mm h.3.5 concrete slab with 100mm concrete base layer on minimum 100mm well compacted hardcore.

3. Approved fix to fix to fix.

4. Approved joints to manufacturer's specifications.

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GENERAL NOTES

FOUNDATIONS

- 1. Concrete foundation to engineer design and specifications.

FLOORS

- 21. 20mm smooth finished screed or 80mm h.3.5 concrete slab with 100mm concrete base layer on minimum 100mm well compacted hardcore.
- 22. Approved fix to fix to fix.
- 23. Approved joints to manufacturer's specifications.
- 24. Approved joints to manufacturer's specifications.
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WALLS

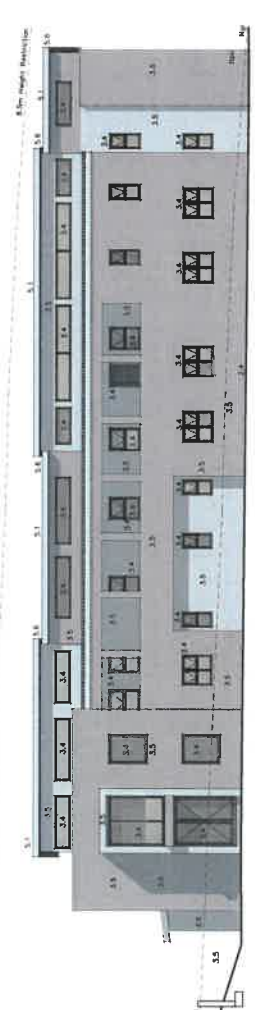
- 31. Internal walls to be smooth finished, skinned and plastered.
- 32. External walls to be smooth finished, skinned and plastered.
- 33. Weirings of all to British specifications.
- 34. Joints to match existing.
- 35. Joints to match existing.
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- 40. Joints to match existing.

CEILING

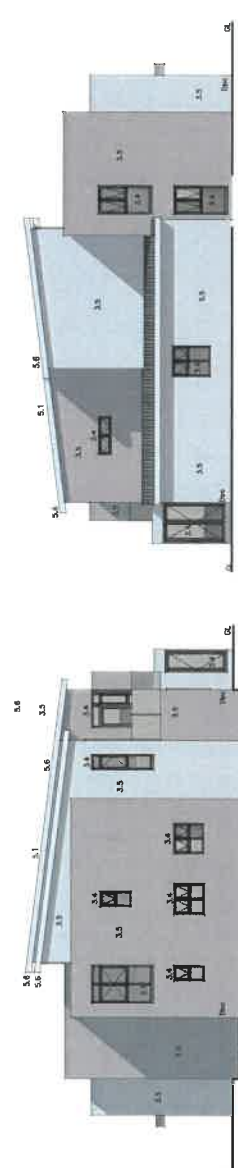
- 41. Internal ceilings to be smooth finished, skinned and plastered.
- 42. External ceilings to be smooth finished, skinned and plastered.
- 43. Weirings of all to British specifications.
- 44. Joints to match existing.
- 45. Joints to match existing.
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ROOFS

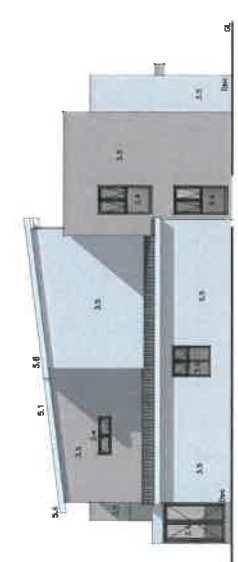
- 51. Dormer, parapet, pre-cast concrete, pitched steel roof to be smooth finished, skinned and plastered.
- 52. External walls to be smooth finished, skinned and plastered.
- 53. Weirings of all to British specifications.
- 54. Joints to match existing.
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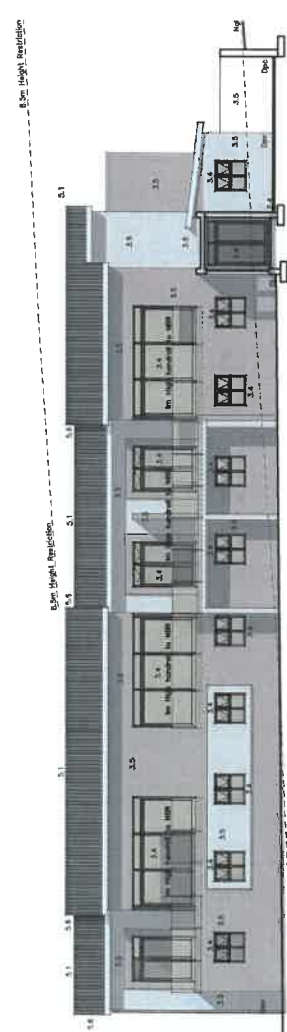
SOUTH EAST ELEVATION
SCALE 1:100



NORTH EAST ELEVATION
SCALE 1:100



SOUTH WEST ELEVATION
SCALE 1:100



NORTH WEST ELEVATION
SCALE 1:100

MUNICIPALITEIT GEORGE MUNICIPALITY

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1/12/2020
DATE

M. MUNICIPAL MANAGER
MUNICIPALE BESTUURDER

Welgelegen VIEWS Block 5

Proposed New Apartment Block 5 for owner, Welgelegen Estate

WELGELEGEN

ENERGREEN

REYNOLDS - GEORGE - 6500
PO BOX 1000
GELDEREN
REYNOLDS - GEORGE - 6500

BLOCK 5 ELEVATIONS

DATE: 2020/10/1

DRAWING NUMBER: B5-4000

GENERAL NOTES
1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE ZONING BY-LAW AND THE GEORGE MUNICIPALITY DEVELOPMENT REGULATIONS.
3. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE MUNICIPALITY AND THE PROVINCE.
4. THE DEVELOPER SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
5. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND SERVICES.
6. THE DEVELOPER SHALL MAINTAIN ALL EXISTING TREES AND LANDSCAPE FEATURES.
7. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES.
8. THE DEVELOPER SHALL MAINTAIN ALL EXISTING UTILITIES AND SERVICES.
9. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES.
10. THE DEVELOPER SHALL MAINTAIN ALL EXISTING UTILITIES AND SERVICES.

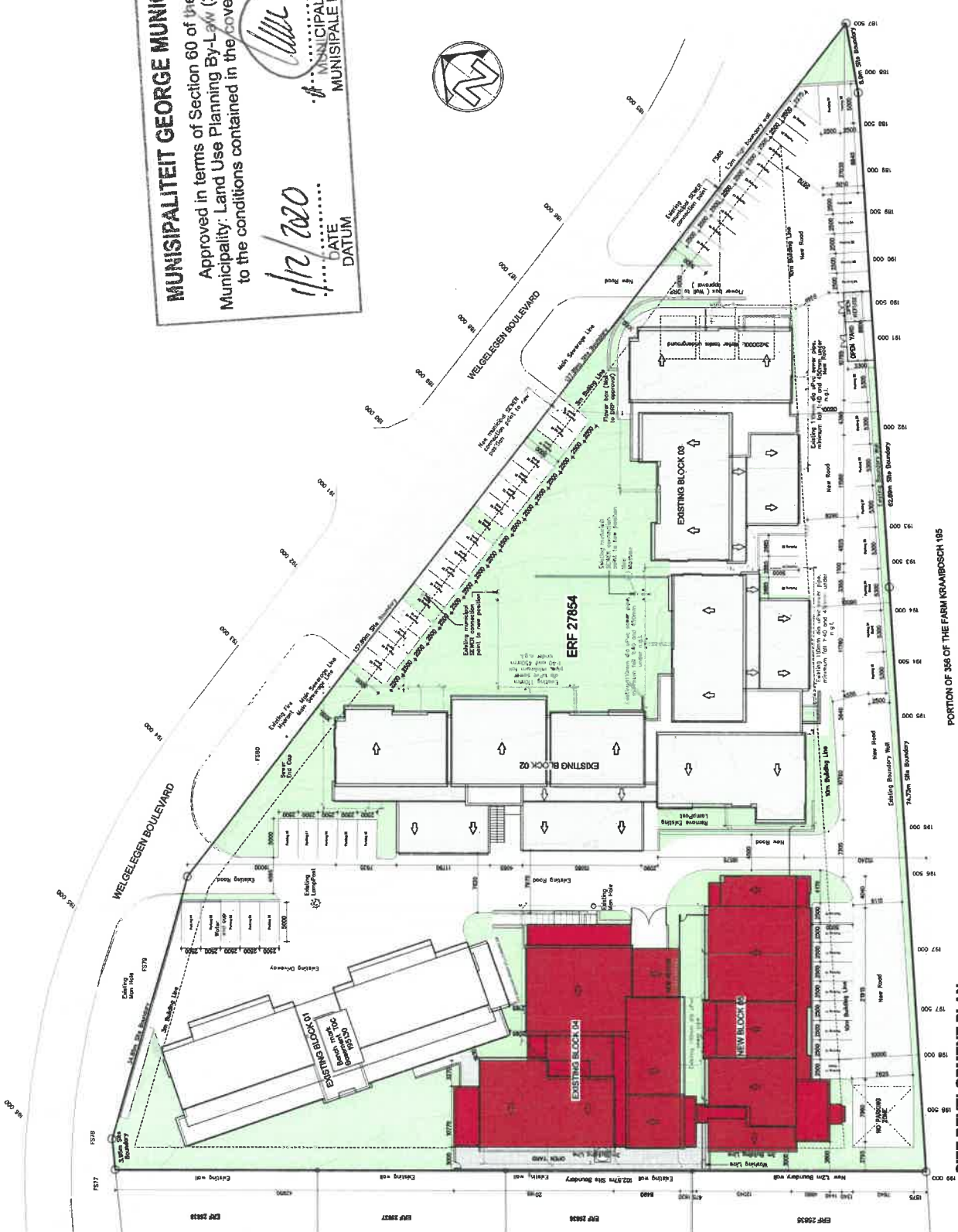
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Proposed New Apartment Block 5 for owner on Welgelegen Views Block 5
 Erf 27854, in the Township of George, Welgelegen Estate



SITE DEVELOPMENT PLAN
 SCALE: As Indicated
 DATE: 2020/1/7
 DRAWING NUMBER: B5-1001 R1

MUNICIPALITEIT GEORGE MUNICIPALITY
 Approved in terms of Section 60 of the George Municipality Land Use Planning By-Law (2015) subject to the conditions contained in the covering letter.
 1/12/2020
 DATE
 MUNICIPAL MANAGER
 MUNISIPALE BESTUURDER



SITE DEVELOPMENT PLAN
 SCALE 1:250

PORTION OF 366 OF THE FARM KRAMBOSCH 195